

NOTES

1. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING (IF REQUIRED) WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION.
2. ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO INSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS OCCUR IN THOSE AREAS.
3. NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
4. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY AND FOR DRIVEWAY ARE TO BE THERMO PLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
5. ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING REGARDING THE INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET SIGN NAMES.
6. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD STANDARDS AND BE MAINTAINED BY THE OWNER.
7. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
8. CONTACT 811 PRIOR TO CONTACTING CITY OF WILMINGTON, TRAFFIC ENGINEERING REGARDING THE UTILITIES IN ROW.
9. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
10. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN PARKING AREAS SHALL BE WHITE. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS OF WAY FOR DRIVEWAY ARE TO BE THERMO PLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
11. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
12. STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
13. TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEEL CHAIR RAMPS.
14. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
15. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
16. CONTACT TRAFFIC ENGINEERING AT 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
17. WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY DETAILS AND SPECIFICATIONS.
18. PROJECT SHALL COMPLY WITH CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METERS CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL.
19. IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST SUPPLY A RPZ BACKFLOW PREVENTION DEVICE ON THE DEVELOPERS SIDE OF THE WATER METER BOX.
20. ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA SHALL COMPLY WITH THE CFPWA CROSS CONNECTION REGULATIONS.
21. ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZE SENSOR.
22. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCOCHR.
23. CONTRACTOR TO FILED VERIFY EXISTING WATER AND SEWER LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF CONFLICTS.
24. AN ALL WEATHER DRIVING SURFACE FOR EMERGENCY VEHICLES MUST BE MAINTAINED DURING CONSTRUCTION.
25. UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC ROW TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.
26. NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (TEN) FEET ABOVE THE GROUND WITHIN THE TRIANGLE SIGHT DISTANCE.
27. CONTRACTOR IS TO NOTIFY (AT A MINIMUM) THE FOLLOWING COMPANIES FOR LOCATION SERVICES:
 ULCO1-800-632-4949, 48 HOURS IN ADVANCE
 BELL SOUTH.....1-800-392-8712 (STEVE DAYVAULT)
 CAROLINA ONE CALL CENTER 1-800-632-4949
28. THERE SHALL BE NO ENCUMBRANCES WITHIN THE NCDOT RIGHT OF WAY.
29. A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT (SD 15-14 CoTW TECH STDS)
30. FIRE HYDRANTS CANNOT BE FURTHER THAN 8' FROM THE CURB.
31. PARKING AND LANDSCAPING CANNOT BLOCK FIRE HYDRANTS OF FDC'S OR FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT AND FDC.
32. FDC'S CAN BE NO FURTHER THAN 40' FROM FIRE DEPARTMENT VEHICLE PLACEMENT
33. FDC'S CAN BE NO FURTHER THAN 150' FROM A FIRE HYDRANT
34. BICYCLE PARKING IS PROVIDED ON THE NORTHWEST CORNER OF PROPOSED BUILDING
35. ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
36. CONTRACTOR SHALL SUBMITT A RADIO SIGNAL STRENGTH STUDY THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.
37. NEW HYDRANTS MUST BE BROUGHT INTO SERVICE PRIOR TO COMBUSTIBLE MATERIAL DELIVERED TO THE JOB SITE.

SITE CONSTRUCTION PLANS

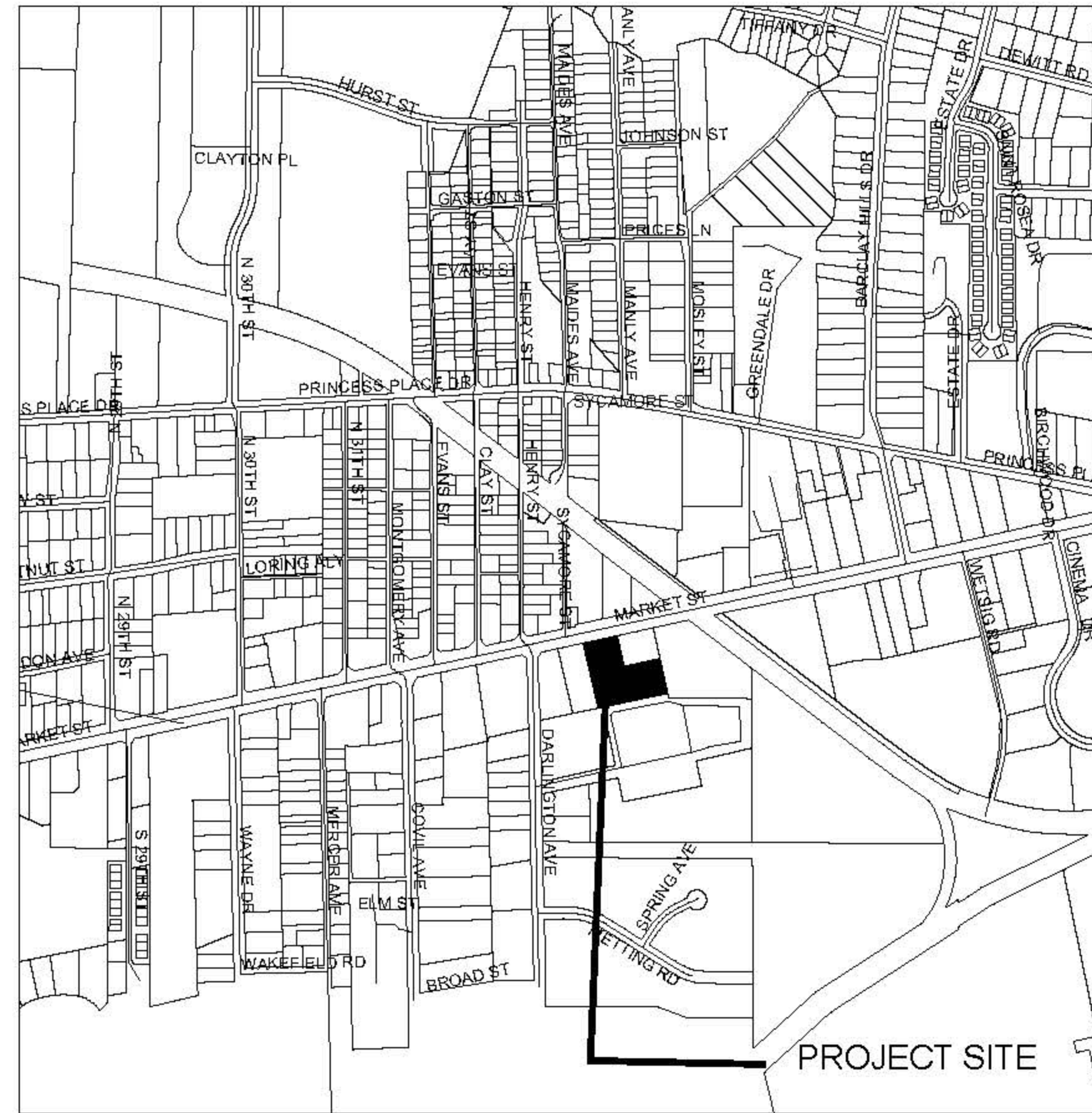
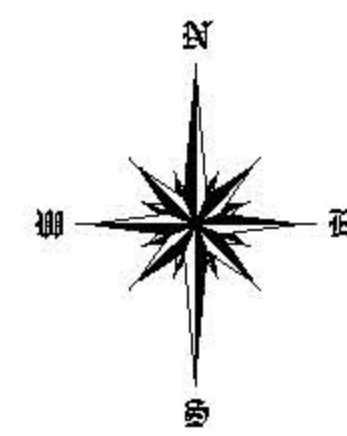
3606 MARKET STREET
WILMINGTON, NC 28403

SITE REDEVELOPMENT

Approved Construction Plan Mod.
Date: 5/27/21
2020036
SWP #: 2020035R1
PO, CW, RC, MB, BM



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



SCALE 1" = 600'

VICINITY MAP
JULY, 2020

LIST OF DRAWINGS

- XX COVER SHEET
- C1 EXISTING CONDITIONS
- C2 SITE PLAN
- C3 DETAILS
- L1 LANDSCAPE PLAN
- A1 ARCHITECTURAL ELEVATION

ARCHITECT
GOODRICH ARCHITECTURE, PA
MELIISA SEXTON
3142 WRIGHTSVILLE AVENUE
WILMINGTON, NC 28403
1-910-343-1065

CIVIL ENGINEER
JBS CONSULTING, PA
BRAD SEDGWICK, PE
7332 COTESWORTH DRIVE
WILMINGTON, NC 28405
1-910-619-9990

OWNER
NOURISH NC, INC.
STEVE McCROSSAN
EXECUTIVE DIRECTOR
PO BOX 3235
WILMINGTON, NC 28406
1-910-465-0995

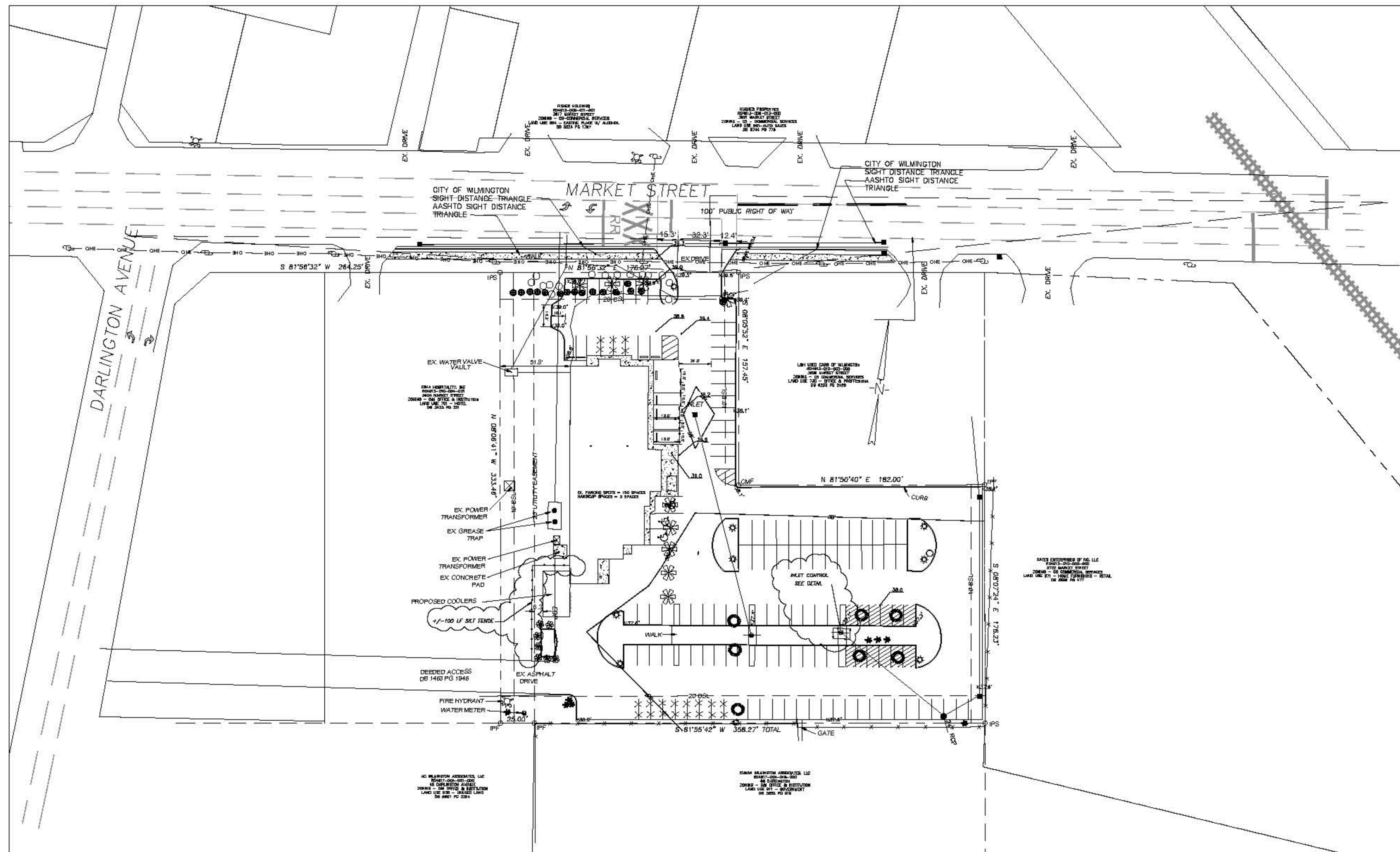
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RS	11/03/20		REVISED PER 11/1/00/20 TRC COMMENTS
R4	11/11/20		REVISED PER 11/11/20/20 TRC COMMENTS
R3	10/29/20		REVISED PER 10/13/20/20 TRC COMMENTS
R2	9/1/20		SUBMITTED FOR FORMAL TRC
R1	7/24/20		SUBMITTED FOR PRE-TRC



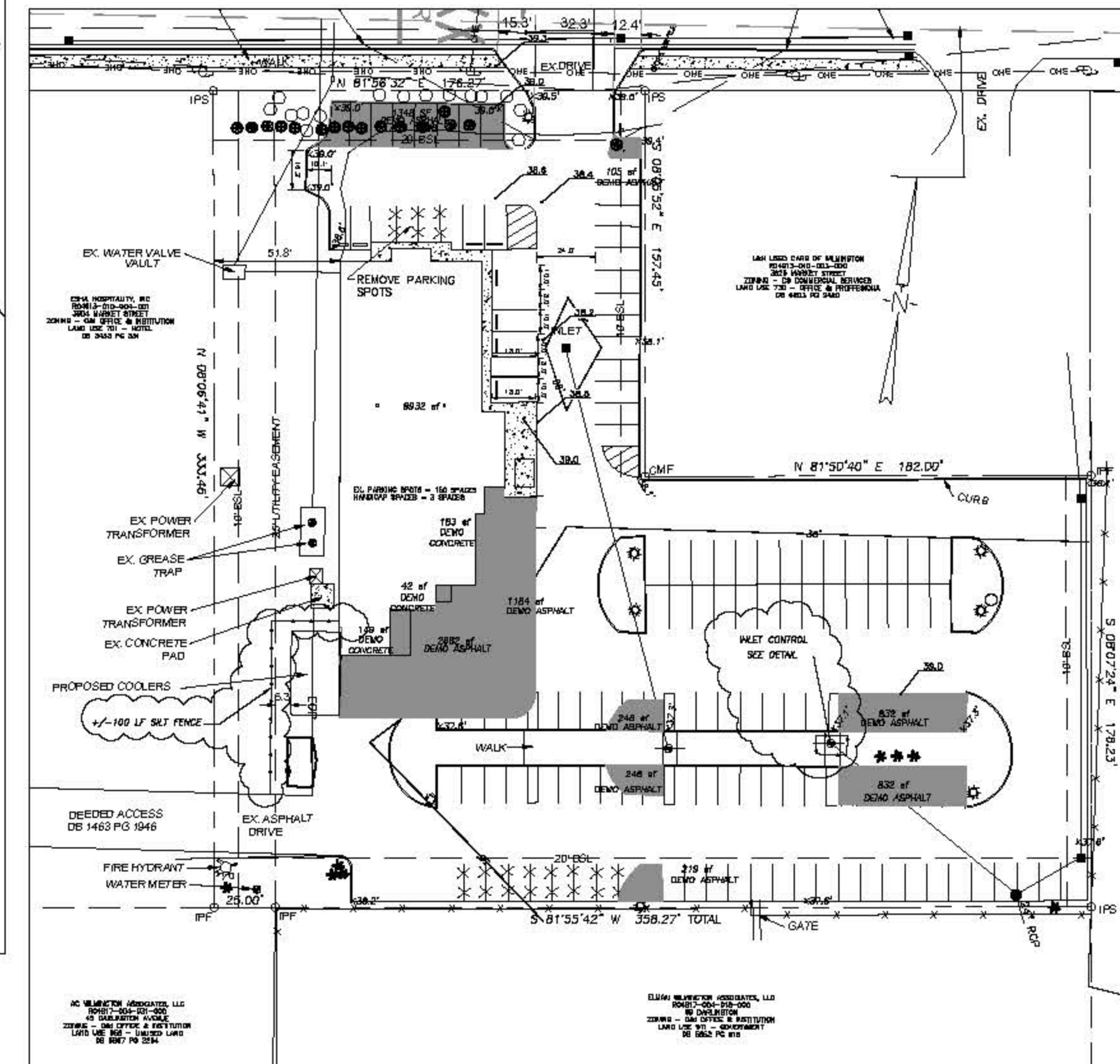
11/25/20	REVISED PER 1013000 TRC COMMENTS
11/17/20	REVISED PER 1013000 TRC COMMENTS
10/29/20	REVISED PER 1013000 TRC COMMENTS
9/17/20	SUBMITTED FOR FORMAL TRC
7/24/20	SUBMITTED FOR PRETRC
	NUMBER DATE REVISION



NO WETLAND WITHIN PROJECT AREA



EXISTING CONDITIONS
SCALE: 1" = 50'

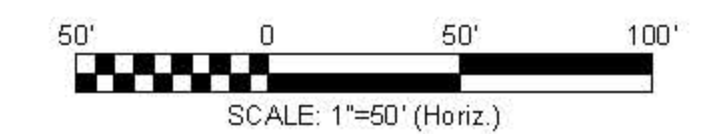


DEMO PLAN
SCALE: 1" = 50'

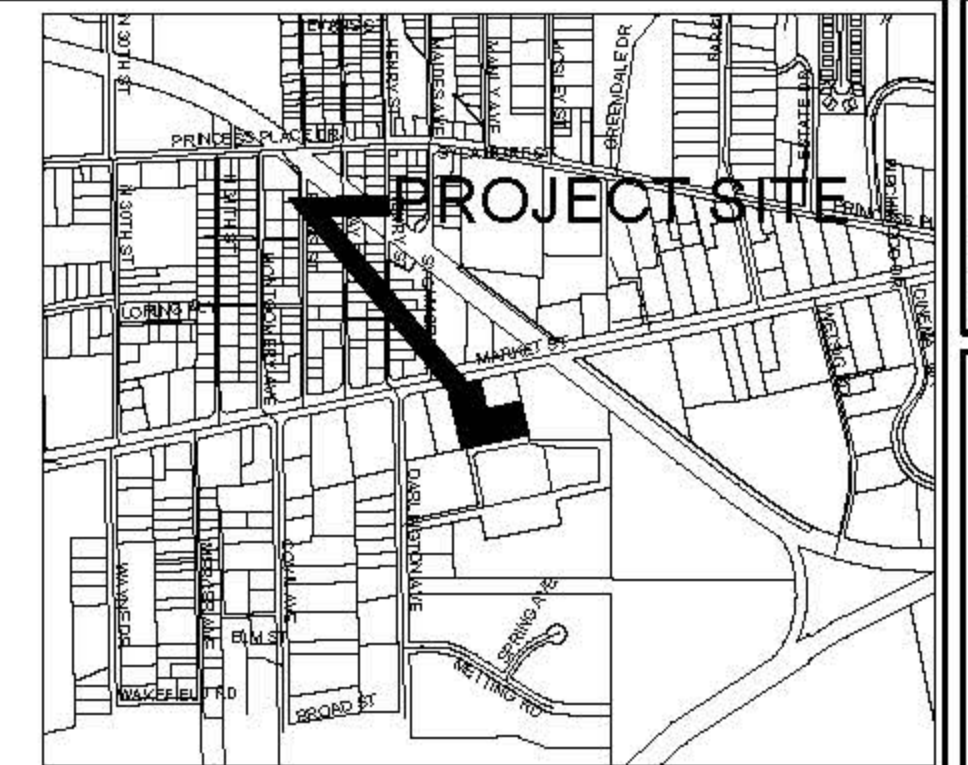
LEGEND	
STANDARD ASPHALT	[Solid Grey Box]
STANDARD CONCRETE	[Stippled Box]
EXISTING SPOT ELEVATION	⊗ 41.5'
PROPOSED SPOT ELEVATION	● 41.5'
WAVE STYLE BIKE RACK & BIKE SPOTS EACH	[Wavy Line Pattern]
TREE PROTECTION FENCING SEE DETAIL	[Dashed Line Box]

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Date: 5/27/21
2020036
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City of WILMINGTON NORTH CAROLINA
Public Services - Engineering Division
APPROVED DRAINAGE PLAN
Date: _____ Permit # _____
Signed: _____



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VICINITY MAP
SCALE: 1" = 1000'

DESIGNED BY	BDS
DRAWN BY	BDS
CHECKED BY	BDS
DATE	JULY, 2020

EXISTING CONDITIONS
NOURISH NC
3606 MARKET STREET
WILMINGTON, NC 28403

NOURISH NC
PO BOX 3235
WILMINGTON, NC 28405

JBS CONSULTING, PA
7332 Colesworth Drive
Wilmington, NC 28405
(910) 619-9990
License Number C-2525
PLANNING - ENGINEERING - PROJECT MANAGEMENT

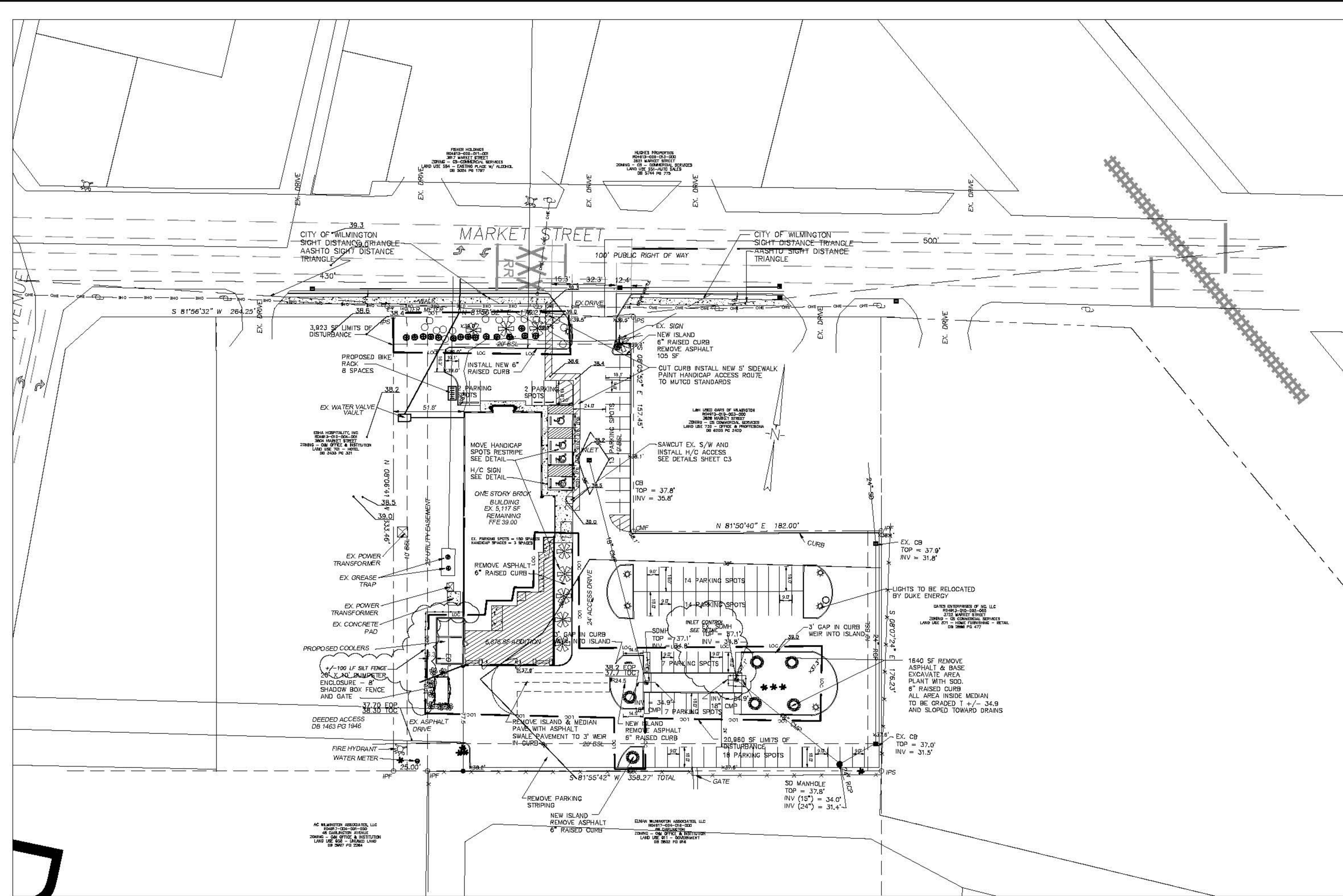
REVISED PER 11/18/2020 TRC COMMENTS	11/22/20
REVISED PER 11/23/2020 TRC COMMENTS	11/23/20
REVISED PER 10/13/2020 TRC COMMENTS	10/29/20
SUBMITTED FOR FORMAL TRC	9/17/20
SUBMITTED FOR PRETRC	7/24/20
NUMBER	DATE
REVISION	



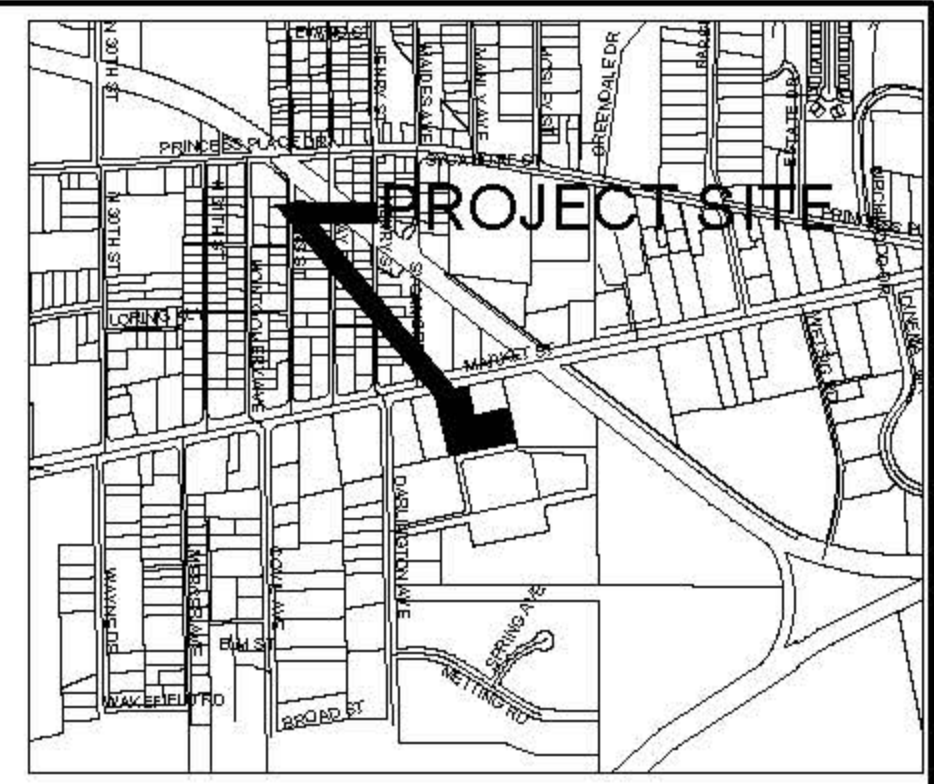
NO WETLAND WITHIN PROJECT AREA

LEGEND

- STANDARD ASPHALT
- STANDARD CONCRETE
- EXISTING SPOT ELEVATION \times 41.5'
- PROPOSED SPOT ELEVATION 33.33 FL
- WAVE STYLE BIKE RACK 8 BIKE SPOTS EACH
- TREE PROTECTION FENCING SEE DETAIL



SITE PLAN
SCALE: 1" = 40'



VICINITY MAP
SCALE: 1" = 1000'

SITE DATA

ADDRESS: 3806 MARKET STREET
WILMINGTON, NC 28403

PROPERTY OWNER: NOURISH NC
PO BOX 3235
WILMINGTON, NC 28405

PARCEL ID NUMBERS: 080413-010-004-000

DEED BOOK & PAGE: D.B. 8363 PG. 565

MAP BOOK & PAGE: M3 28 PG. 131

CURRENT ZONING: OBI 1 OFFICE & INSTITUTION
CITY OF WILMINGTON

PROPOSED ZONING: OBI 1 OFFICE AND INSTITUTION
CITY OF WILMINGTON

TOTAL LOT AREA: 2.08 ACRES

CAMA LAND USE CLASSIFICATION: URBAN

CHARTER DISTRICT: PROPERTY IS NOT IN A SPECIAL HIGHWAY OVERLAY DISTRICT

PROPOSED USE: SOCIAL SERVICES

BUILDING CONSTRUCTION TYPE: - 1B

FLOOD INFO:
ZONE: X - MINIMAL FLOOD ZONE
PANEL: 5202
MAP # 37203J000K
AUGUST 28, 2016

NUMBER OF BUILDINGS: 1 PROPOSED

BREAKDOWN OF USE OF BUILDING

WAREHOUSE	4,886 SF
PACKAGING	1,875 SF
GENERAL OFFICE	1,436 SF
TOTAL	8,197 SF

MIN. LOT AREA: 15,000 SF
MIN. LOT WIDTH: 178'
MAX. LOT COVERAGE: 42%
FRONT BUILDING SETBACK: 20'
REAR BUILDING SETBACK: 25'
SIDE BUILDING SETBACK: 10'
RIGHT SIDE: 51.8'
LEFT SIDE: 48.7'
MAX. BUILDING HEIGHT: 45'

LOT COVERAGE: 11,893 / 80805 = 1.35%

TOTAL ON-SITE EXISTING BUA

BUILDINGS	6,758 SF
ASPHALT PAVEMENT	56,094 SF
CONCRETE SIDEWALKS	1,232 SF
TOTAL	64,084 SF

TOTAL ON-SITE PROPOSED BUA

BUILDINGS (EX. REMAINING)	5,117 SF
BUILDING (NEW ADDITION)	4,876 SF
ASPHALT PAVEMENT	53,164 SF
CONCRETE SIDEWALKS	1,154 SF
OUTDOOR COOLERS	550 SF
TOTAL	65,761 SF

LINKS OF DISTURBANCE: 28,433 SF

SOIL TYPES

SITE IS COMPRISED OF 25% SEAGATE FINE SAND AND 75% BAYMEADE FINE SAND

PARKING REQUIREMENTS

PROPOSED USE SOCIAL SERVICES
MAXIMUM = 1 / 300 (11893 / 300 = 40) MINIMUM = 1 / 300 (11893 / 300 = 40)

77 SPOTS REMAINING AFTER IMPROVEMENTS
4 HANDICAP SPOTS REQUIRED
4 HANDICAP SPOTS PROVIDED
3 VAN ASSESSABLE

SOLID WASTE - SERVICE PROVIDED BY CLAMSTER AS SHOWN. DUMPSTER WILL BE ENCLOSED WITH 8' SHADOW BOX FENCE WITH GATE AND LANDSCAPED

UTILITY INFORMATION
FACILITY WILL USE EXISTING SEWER AND WATER HOOKUPS. REDUCED DEMAND EXPECTED.
ESTIMATED TIME GENERATION

GENERAL NOTES

1) PARKING STALLS TO BE RESTRIPTED AND SHALL COMPLY WITH 2015 WHICH INCLUDES, BUT NOT LIMITED TO ACCESSIBLE PARKING SIGNAGE (US DEPARTMENT OF JUSTICE, CIVIL RIGHTS DIVISION SECTION 504 COMPLIANCE BIDS); RESTRIPTED PARKING SPACES DATED DECEMBER 2015

2) PAVEMENT MARKING TO REPAIRED TO MUTCD STANDARDS

LAND USE	TYPE	ITE CODE	24 HR		PM PEAK		SATURDAY		
			VOLUMES	TRIPS	ENTER	EXIT	ENTER	EXIT	
OFFICE & INSTITUTION	OFFICE & INSTITUTION	710	50	4	4	4	4	0	0
BLANK	BLANK	150	40	0	0	0	0	0	0
TOTAL			90	4	4	4	4	0	0

SURFACE WATER STATEMENT

THERE ARE NO SURFACE WATERS, WETLANDS, REGULATORY FLOOD ZONES, PROTECTED VEGETATIVE SETBACKS OR PROTECTED BIOPHILIC BUFFERS ON THIS SITE.

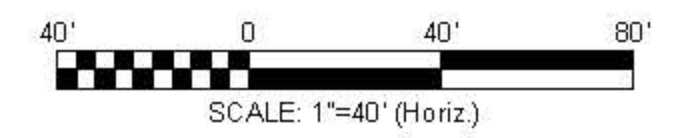
Approved Construction Plan Mod.
Date: 5/27/21
2020036
SWP #: 2020035R1
PO, CW, RC, MB, BM

APPROVED DRAINAGE PLAN

Date: _____ Permit # _____

Signed: _____

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DESIGN BY: BDS
DRAWN BY: BDS
CHECKED BY: BDS
DATE: JULY, 2020

SITE PLAN
UTILITY PLAN

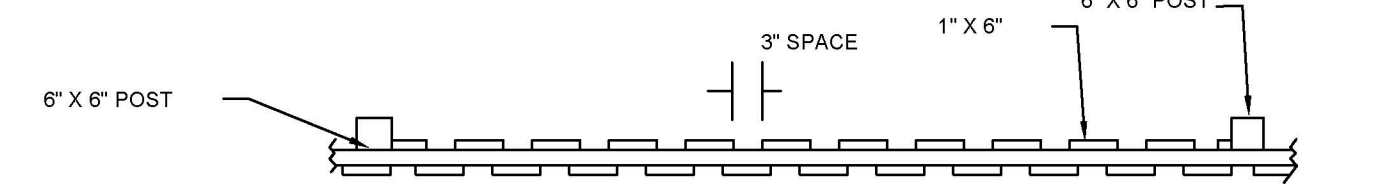
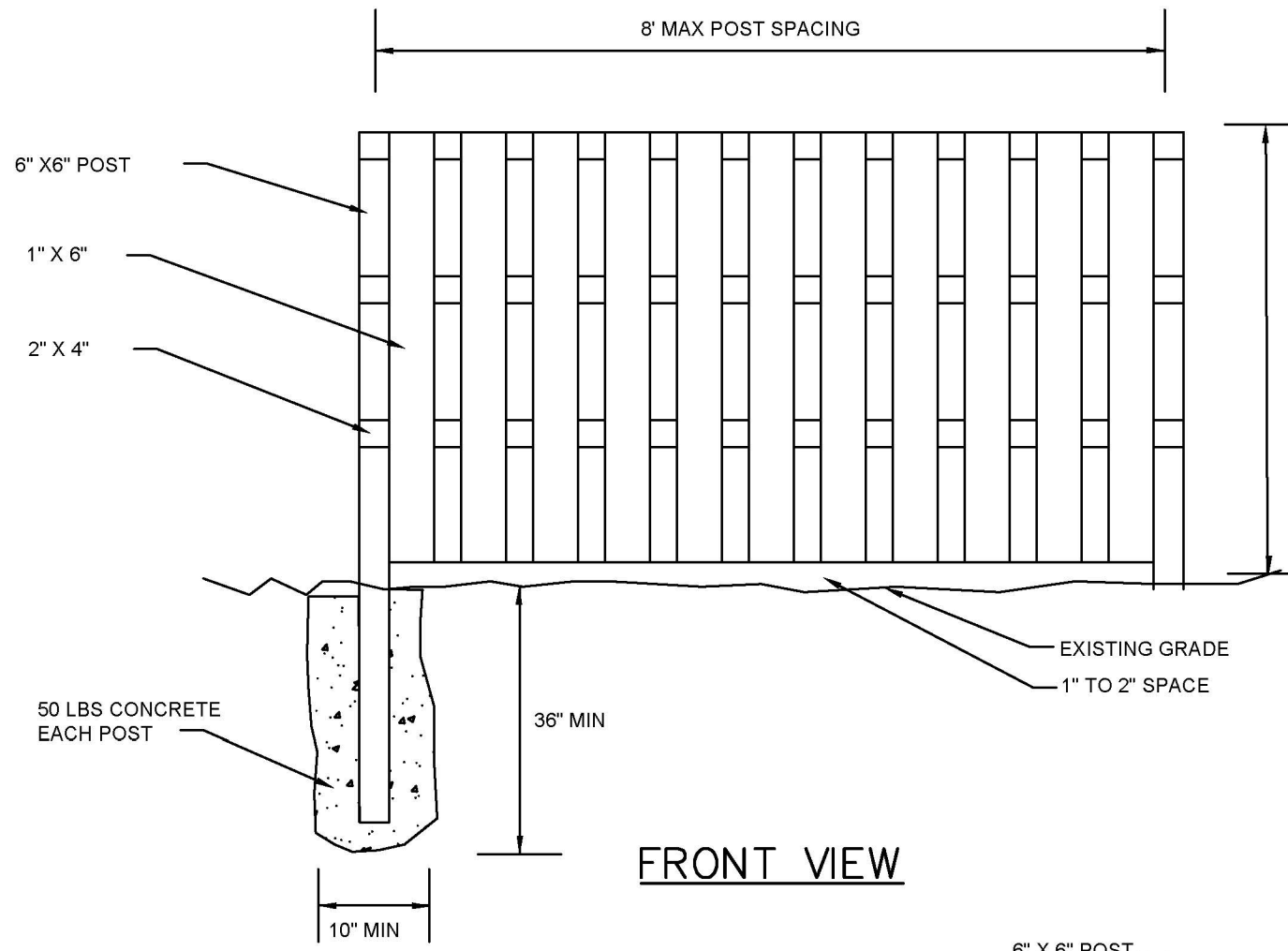
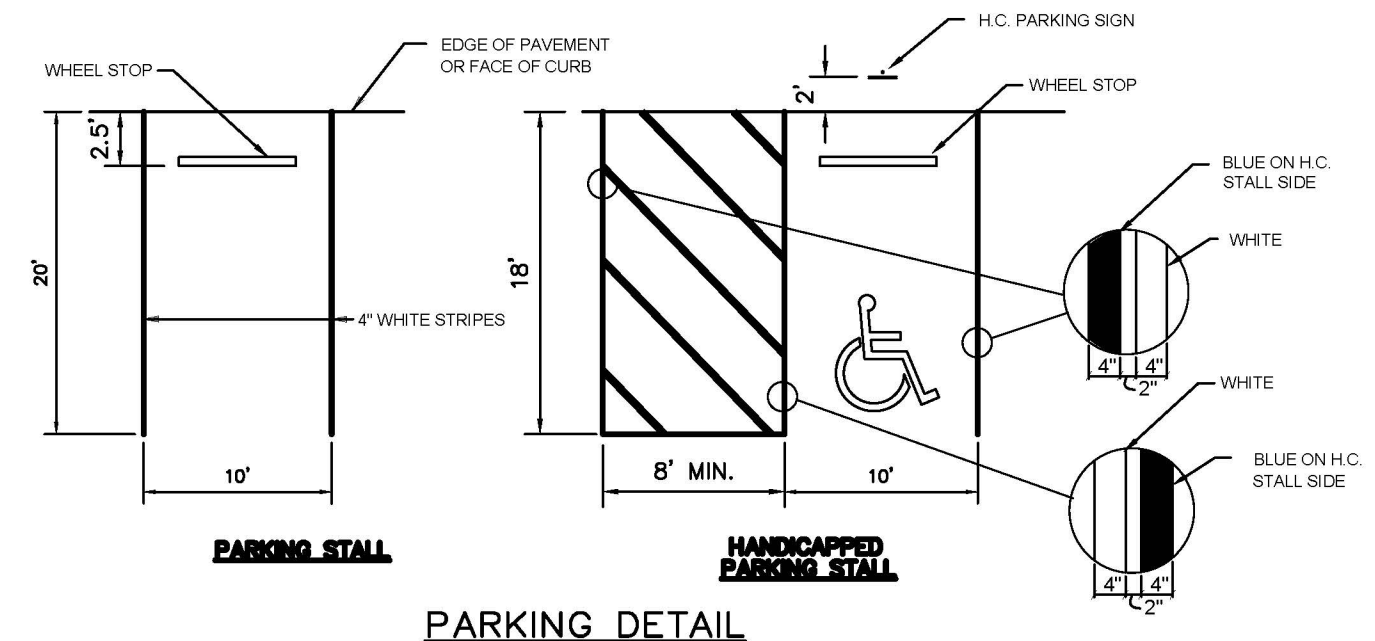
NOURISH NC
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PLANNING - ENGINEERING - PROJECT MANAGEMENT

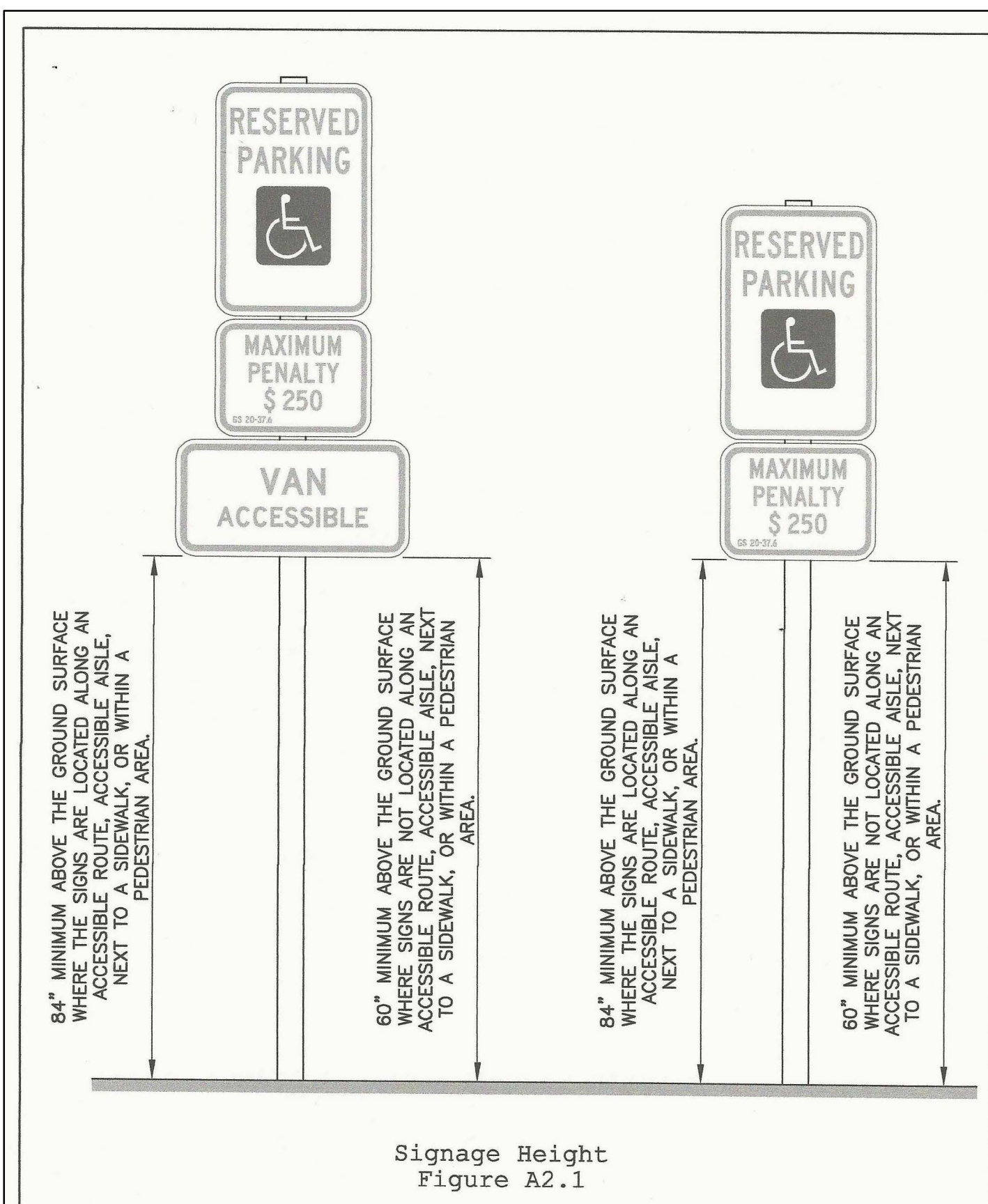
SHEET
C2
of 4
JOB NO. 142-001



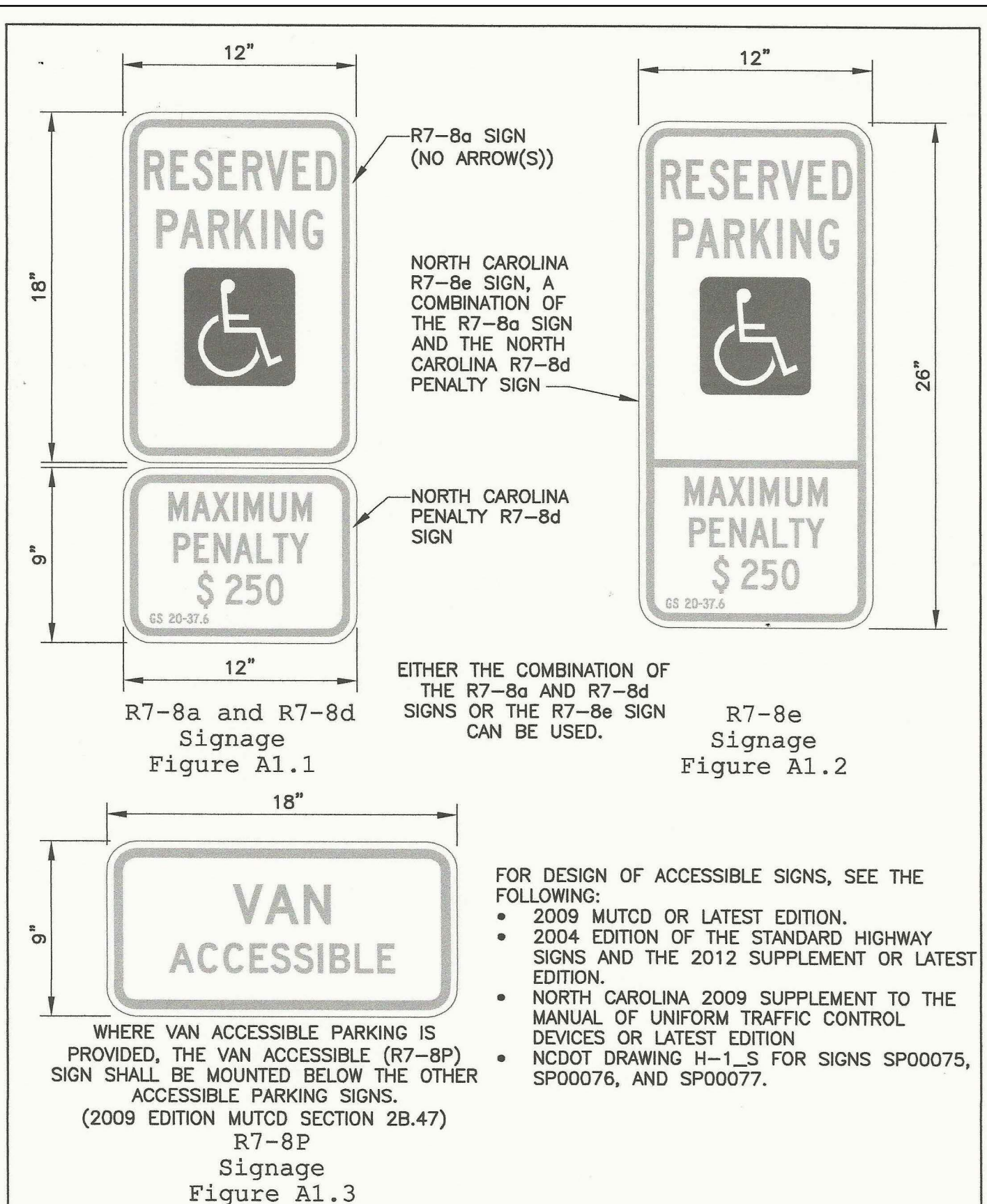
SHADOW BOX FENCE DETAIL
N.T.S.

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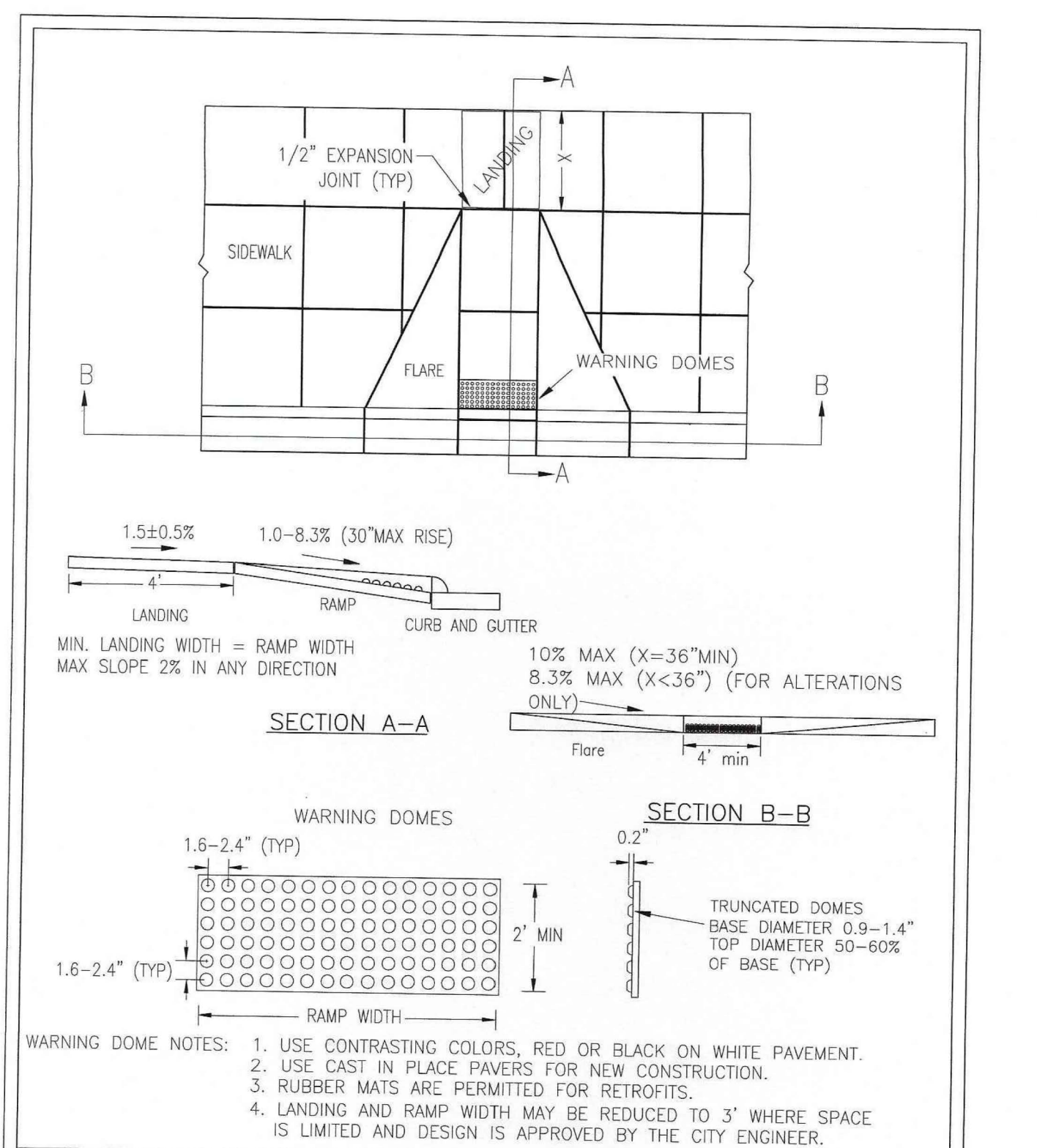
NO.	DATE	REVISION
R4	11/12/20	REVISED PER 11/12/20 TRC COMMENTS
R3	10/29/20	REVISED PER 10/29/20 TRC COMMENTS
R2	9/1/20	SUBMITTED FOR FORMAL TRC
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		NUMBER
		DATE



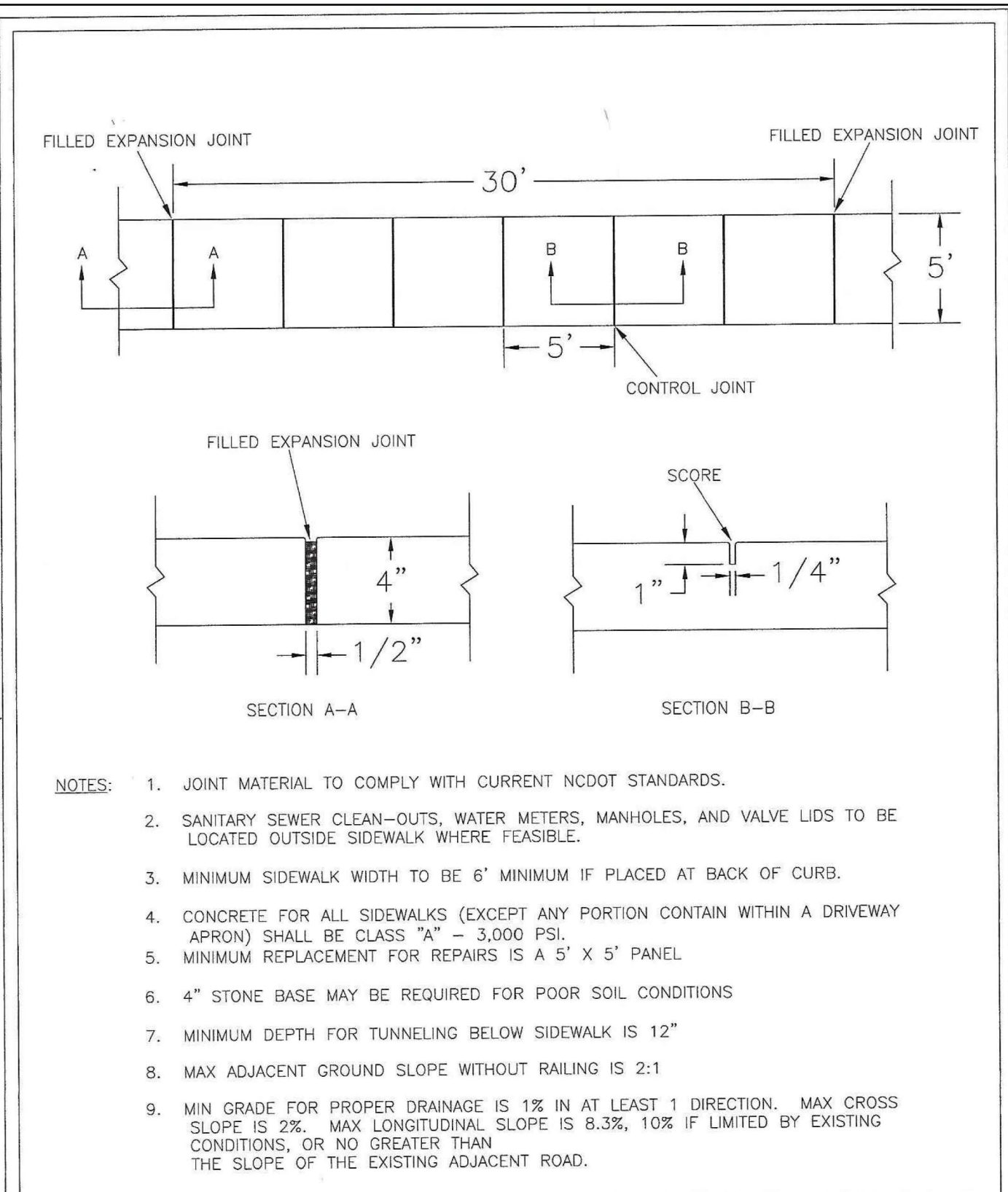
DATE: NOVEMBER 8, 2016	ACCESSIBLE PARKING SIGNS AND INSTALLATION DETAILS SHEET A2 OF 5	
DRAWN BY: DALE THOMPSON		
CHECKED BY: RANDALL GLAZIER		
SCALE: NOT TO SCALE		



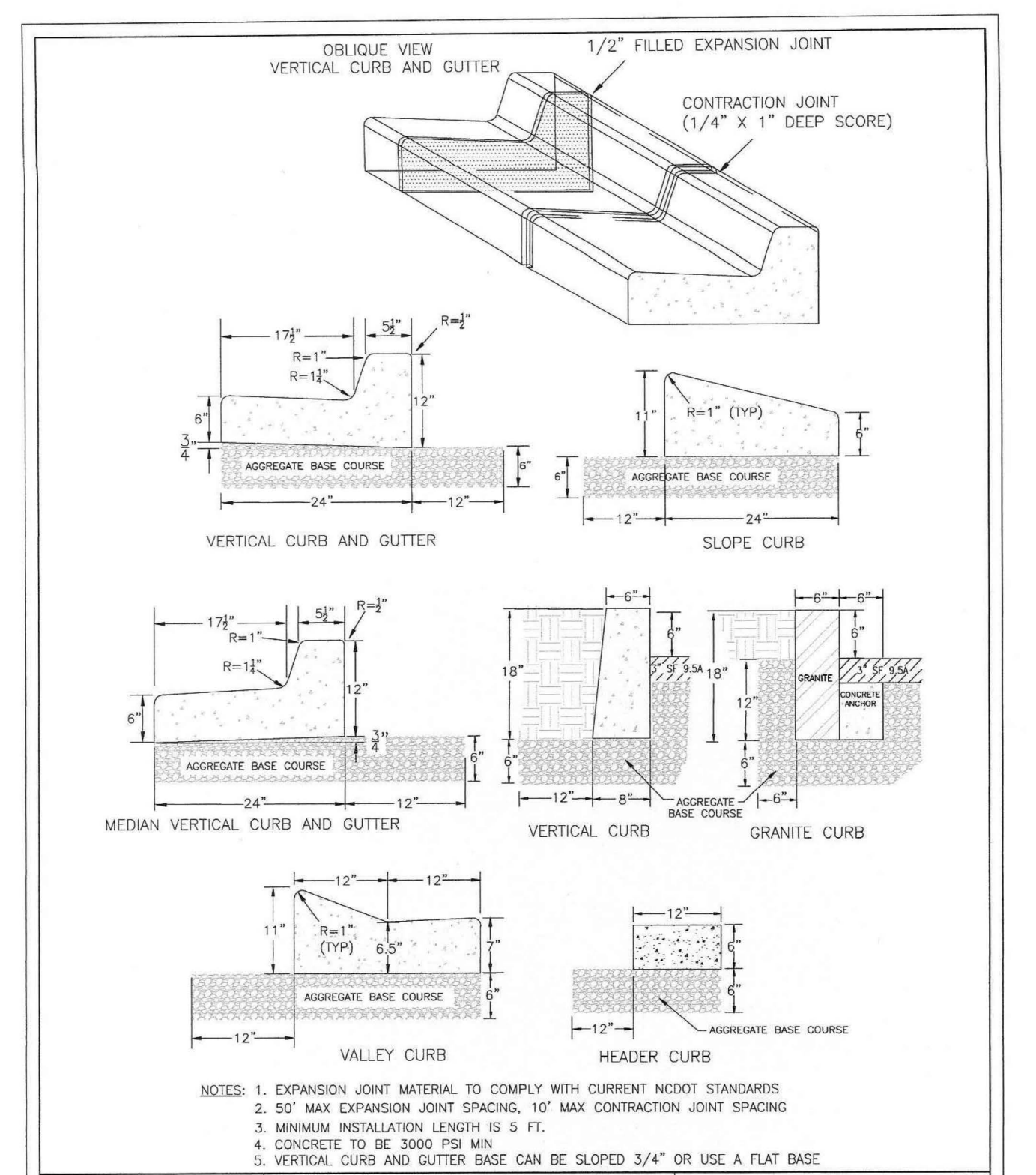
DATE: NOVEMBER 8, 2016	ACCESSIBLE PARKING SIGNS AND INSTALLATION DETAILS SHEET A1 OF 5	
DRAWN BY: DALE THOMPSON		
CHECKED BY: RANDALL GLAZIER		
SCALE: NOT TO SCALE		



DATE: DECEMBER, 2010	PERPENDICULAR CURB RAMP ADJACENT TO WALKING SURFACE	
DRAWN: PW/SR		
CHECKED: DEC		
SCALE: NOT TO SCALE		



DATE: OCTOBER, 2010	STANDARD DETAIL	
DRAWN: PW/SR	SIDEWALK	
CHECKED: DEC		
SCALE: NOT TO SCALE		



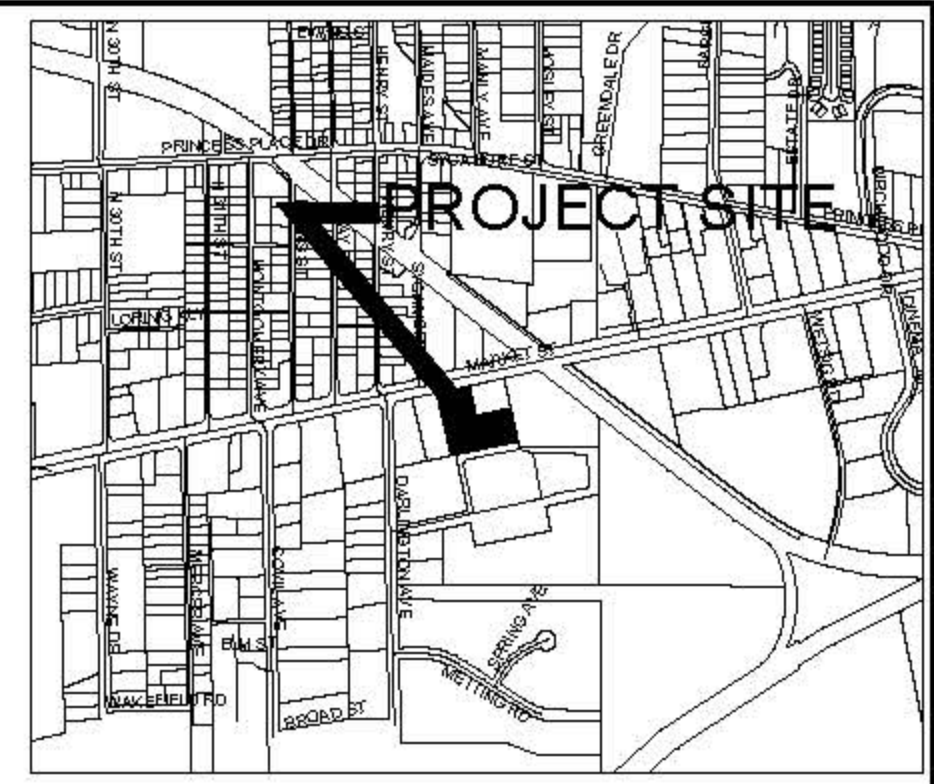
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DRAWN: PW/SR	CURBING	
CHECKED: DEC		
SCALE: NOT TO SCALE		

DESIGN BY: BDS	DRAWN BY: BDS	CHECKED BY: BDS	DATE: JULY, 2020
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DETAILS
NOURISH NC
3606 MARKET STREET
WILMINGTON, NC 28403

NOURISH NC
PO BOX 3235
WILMINGTON, NC 28405

JBS CONSULTING, PA
7332 Colesworth Drive
Wilmington, NC 28405
(910) 619-9990
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PLANNING - ENGINEERING - PROJECT MANAGEMENT



VICINITY MAP
 SCALE: 1" = 1000'

LANDSCAPE NOTES

EXISTING BUILDING = 8,759 SF PROPOSED BUILDING = 11,993 SF
 EXPANSION = 3,234 SF

TREES = 15 PER DISTURBED ACRE 18,846 SF / 43,560 SF = 43%
 15 X .43 = 7 TREES REQUIRED

STREET YARD REQUIREMENTS
 BASED ON 37% EXPANSION FULL STREET YARD REQUIRED
 LDT WIDTH 176 FT - DRIVEWAY AT PROPERTY LINE 37.5 = 138.5
 MULTIPLIER FOR OAK = 18
 REQUIRED STREET YARD AREA = 18 X 138.5 = 2,493 SF REQUIRED
 MAX WIDTH = 27' MIN WIDTH = 9'

329 + 2,978 SF = 3,308 SF PROVIDED

1 - CANOPY TREE OR 3 UNDERSTORY TREE PER 600 SF
 6 SHRUBS PER 600 SF

3,308 / 600 = 5 MULTIPLIER

6 - CANOPY TREES OR 18 UNDERSTORY
 36 - SHRUBS REQUIRED

14 - EXISTING CREPE MYRTLE
 4 - CREPE MYRTLES PROPOSED

0 - EXISTING SHRUBS
 18 - HOLLIES PROPOSED
 18 - PRIVETS PROPOSED

PARKING LOT LANDSCAPING
 ALL PARKING ISLANDS PROTECTED BY CURBING
 SHADING REQUIREMENTS = 35% OF PARKING SURFACE AREA (0.66)
 50,822 SF X 35% = 17,788 SF REQUIRED

EXISTING TREES TO BE RETAINED = 16 CANOPY TREES AND 3 UNDERSTORY
 (16 X 707 SF) + (3 X 314 SF) = 14,138 SF OF SHADING FROM EXISTING TREES

PROPOSED
 7 OAKS (707 SF) + 14 CREPES (314 SF) = 4,949 + 4,396 = 9,345 SF OF ADDITIONAL SHADING

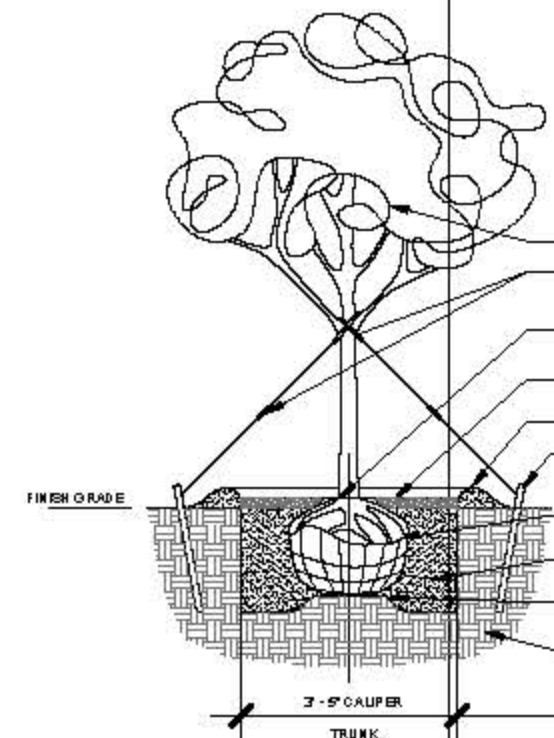
TOTAL SHADING PROVIDED = 23,463 SF PROVIDED

PERIMETER LANDSCAPING
 PERIMETER LANDSCAPING NOT PROVIDED DUE TO AS BUILT CONDITIONS

PARKING AREA SCREENING
 PARKING AREA SCREENING ALONG MARKET STREET AUGMENTED WITH THE ADDITION OF 36 SHRUBS

FOUNDATION PLANTINGS
 FOUNDATION PLANTING ALONG FRONT OF BUILDING AND SIDE PROHIBITED BY EXISTING SIDEWALK. FOUNDATION PLANTING PROVIDED ALONG EAST SIDE OF BUILDING BACK HALF.

1184 SF PLANTING PROVIDED - 10 HOLLIES AND 6 CREPES PROVIDED.



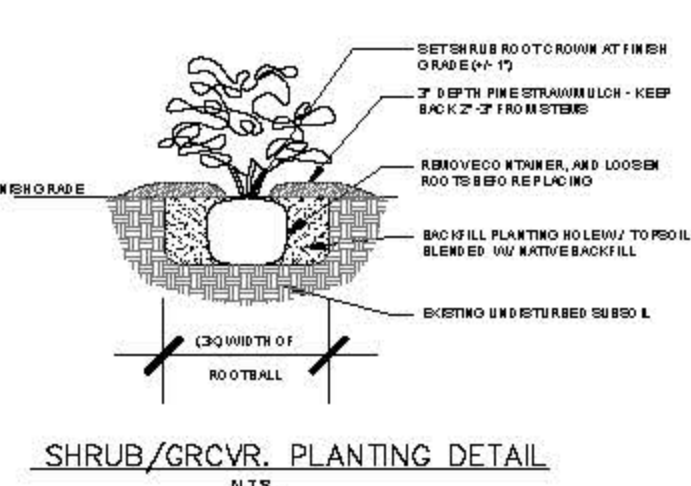
TREE PLANTING DETAIL

PLANTING SCHEDULE

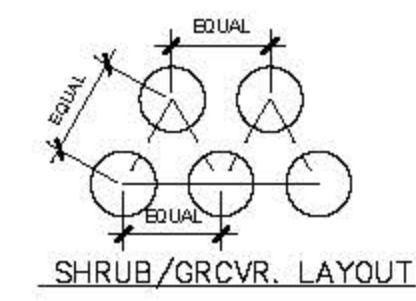
Common Name	Latin Name	Size	Qty
LARGE SHADE TREE			
Darlington Oak	Quercus laurifolia	7' TO 9' HIGHT 2 1/2" DIA	7
SMALL SHADE TREE			
Crepe Myrtle Tuscarora	Lagerstroemia	8' HIGHT	16
SHRUBS			
Common Privet	Ligustrum recurve	3' DIA, 3' HIGHT	21
Dwarf Yaupon Holly	Ilex vomitoria "nana"	3' DIA, 3' HIGHT	36

LEGEND

- STANDARD ASPHALT
- STANDARD CONCRETE
- EXISTING SPOT ELEVATION 41.5'
- PROPOSED SPOT ELEVATION 33.33 FL
- WAVE STYLE BIKE RACK 8 BIKE SPOTS EACH
- TREE PROTECTION FENCING SEE DETAIL



SHRUB/GRCVR. PLANTING DETAIL



SHRUB/GRCVR. LAYOUT

Approved Construction Plan

Name _____ Date _____

Planning _____

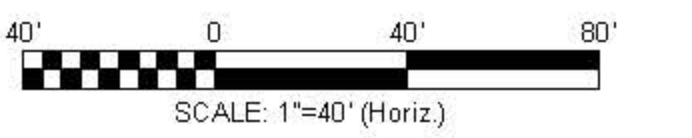
Traffic _____

Fire _____

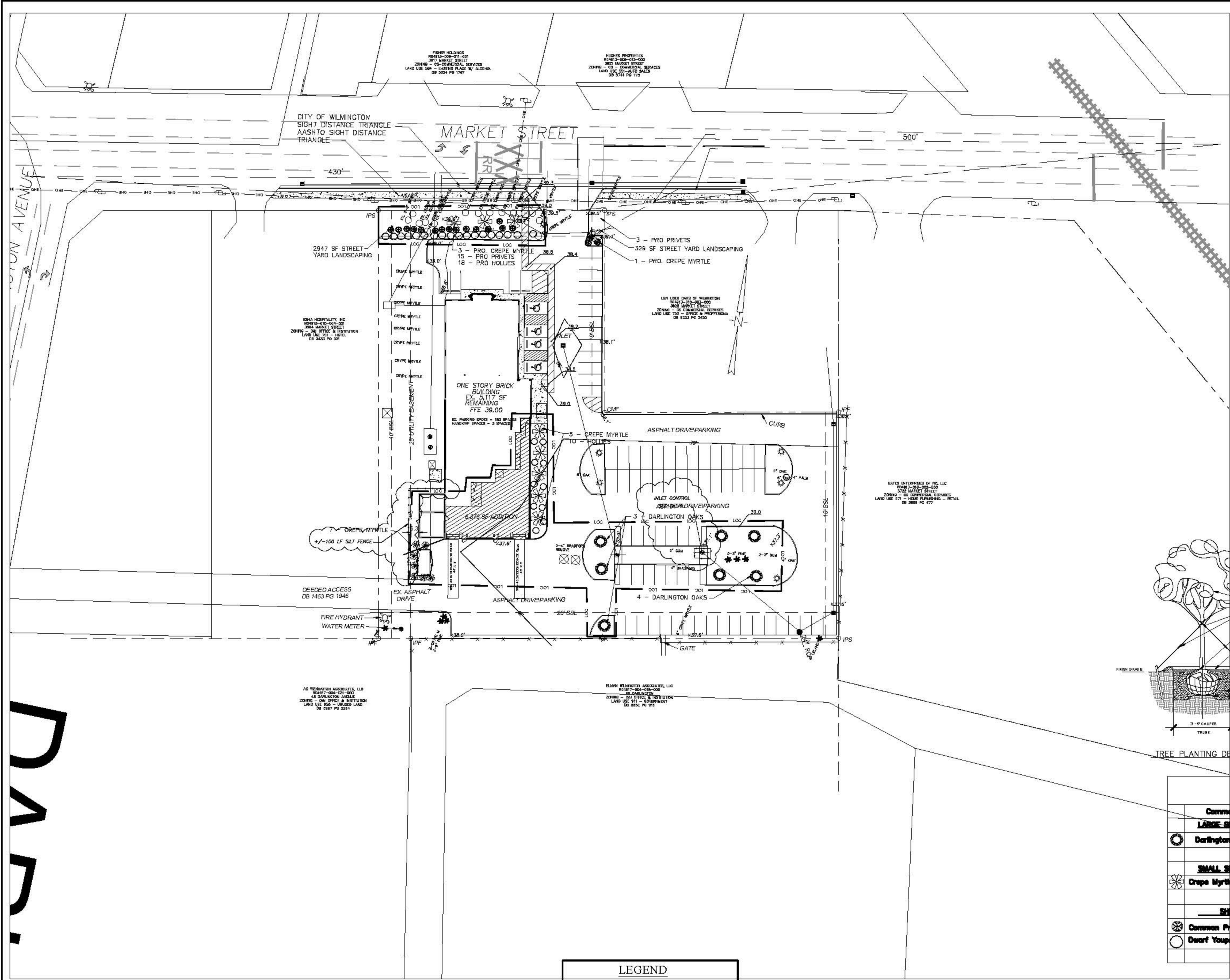
WILMINGTON NORTH CAROLINA
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 APPROVED DRAINAGE PLAN

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Signed: _____



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



NUMBER	DATE	REVISION
R5	11/25/20	REVISED PER 11/18/2020 TRC COMMENTS
R4	11/17/20	REVISED PER 11/17/2020 TRC COMMENTS
R3	10/29/20	REVISED PER 10/13/2020 TRC COMMENTS
R2	9/17/20	SUBMITTED FOR FORMAL TRC
R1	7/24/20	SUBMITTED FOR PRE TRC



NO WETLAND WITHIN PROJECT AREA

Approved Construction Plan Mod.
 Date: 5/27/21
 # 2020036
 SWP #: 2020035R1
 PO, CW, RC, MB, BM

SITE PLAN
 SCALE: 1" = 40'